



# SILVERWOODS

GOLF & LIFESTYLE RESORT  
YARRAWONGA

## DESIGN GUIDELINES

APRIL 2017





---

# CONTENTS

- 1.0 The Precinct**
  - 1.1 Residential Character Statement
  - 1.2 Residential Design Vision
  - 1.3 Residential Design Principles
  
- 2.0 The Purpose**
  - 2.1 The Structure
  - 2.2 The Process
  
- 3.0 The Design Guidelines**
  - 3.1 Site Design and Layout
  - 3.2 Building Siting
  - 3.3 Design Quality
  - 3.4 Building Form
  - 3.5 External Windows & Door Frames
  - 3.6 Roofing
  - 3.7 Ancillary
  - 3.8 Landscape Response
  
- 4.0 Acknowledgement**
- 5.0 Silverwoods Design Guidelines Application Form**
- 6.0 Notes**

# 1.0

## THE PRECINCT.

### 1.1 Residential Character Statement

Silverwoods aspires to incorporate the simple and elegant nature of Australian contemporary design style.

It encourages the balance between creativity with the demands for innovative design and construction solutions.

### 1.2 Residential Design Vision

The vision for Silverwoods is to achieve a neighbourhood character which:

- Reflects a cohesive contemporary style in residential development with a clear urban characteristic.
- Provide diversity in housing products to satisfy the needs and aspirations of the new and evolving community.
- Create a built environment that is functional, safe and aesthetically pleasing and promotes a strong sense of place and address for future residents.
- Respond to the distinctive landscape features and contributes to enhance the natural setting.

### 1.3 Residential Design Principles

- Promote good site design which responds positively to the natural environmental conditions of the site and to avoid potential negative impacts on the abutting properties within the restrictions of the building envelopes.
- Design of dwellings should create a positive, active street address and encourage passive surveillance onto the public realm.
- Sites in prominent locations, such as corner sites and sites fronting main roads should incorporate high quality built forms.
- Architectural elements and landscaping features should be used to articulate the front elevations and the side elevations for corner lots.
- Garages and driveways should be functional, well designed and not dominate the streetscape.
- Pitched roofs are encouraged and skillion contemporary roofs should incorporate parapet treatment.
- Encourage the use of high quality, durable and sustainable materials selection.
- Landscaping features should be complementary, and generally be in scale with building on the site. The use of distinctive, functional and sustainable landscape element is encouraged.
- Ensure the size and design of ancillary structures, such as pergolas and verandahs is unobtrusive and consistent with the overall building design and the precinct character.
- To avoid visual clutter, service elements such as air conditioning units should be hidden from public view.



# 2.0

## THE PURPOSE.

The Silverwoods 'Design Guidelines' are intended to protect and maintain consistency and quality throughout Silverwoods, by ensuring a high standard of design, construction and maintenance of all dwellings and landscaping; and by providing owners and builders with guidance on their home and garden design. The Design Guidelines seek to encourage development which meets best practice in urban design and landscape principles.

Silverwoods will provide quality streetscapes, parks and other valuable community amenities. It is important that individual residences are designed in a manner which is consistent with the overall character and image of Silverwoods. The Guidelines do not replace the requirements of relevant Statutory Authorities such as State and Local Government and should be read concurrently. Approval by the DRC does not infer compliance under the Building Code of Australia, Rescode and other Planning or Building Regulations. Separate approval must be obtained from relevant authorities. It is intended that the Silverwoods Design Guidelines may be reviewed, during the course of the development to remain current with local building practices.

### 2.1 The Structure

The Design Guidelines have been written to help you design your new home with high levels of amenity, privacy, sustainability and visual appeal, in terms of architectural form, building materials, colours and landscape treatments.

The Silverwoods Design Review Committee (DRC) will process, review and approve all applications.

### 2.2 The Process

**Step 1:** Once you have purchased your property, decide upon your builder, house and facade design. If you are an owner-builder, consult with your building designer or architect to ensure that they are aware of the requirements of the Design Guidelines.

**Step 2:** Refer to the Design Guidelines and ensure the house design complies with or can be altered to comply with the Design Objectives and Design Controls. If unsure, contact the DRC for clarification or seek to have a pre application meeting.

**Step 3:** Forward your completed application package (refer to application requirement check list) to the DRC.

**Step 4:** Approval, written comments and/or feedback will be provided within 14 days to ensure compliance with the Design Guidelines. If required, non-conforming aspects of the Design must be addressed and re-submitted for approval. Any alterations to your approved design must be confirmed by the DRC.

**Step 5:** While the DRC has the authority to approve the house design applications, the property owner is responsible to obtain a building permit prior to construction.

**Step 6:** Commence construction of your home within 18 months of settling the land and complete construction within 18 months of the commencement date.

**Step 7:** Landscaping of front gardens must be completed within 6 months of obtaining a Certificate of Occupancy.

# 3.0

## THE DESIGN GUIDELINES.

### 3.1 Site Design and Layout

#### 3.1.1 Building Orientation

##### DESIGN OBJECTIVES

- Minimise overlooking and over-shadowing impacts.
- Ensure that building orientation is derived from principles of passive solar design.

##### DESIGN CONTROLS

- Orientate main living/dining areas to face East and or North.
- ResCode provisions to apply.
- Ensure activity spaces are orientated to public open spaces to encourage passive surveillance.

#### 3.1.2 Building Address

##### DESIGN OBJECTIVES

- Create an attractive street address.
- Encourage passive surveillance of the public realm.
- Ensure a dedicated address and frontage to the street, or both streets for corner lots.
- Minimise the use of retaining walls and promote the use of evenly graded slopes.

##### DESIGN CONTROLS

- Access driveways and pedestrian paths should follow the contour profile and avoid significant excavation works or retaining walls.
- Corner buildings are to be designed to address both street frontages.

- All homes to have a sense of entry.
- No blank walls to secondary frontages.
- Building envelope requirements are to be adhered to.
- Period and mock period designs are not permitted.

#### 3.1.3 Fencing

Fencing strongly influences the overall appearance of residential areas. Fencing can help unify the streetscape and give identity to residential precincts as well as provide privacy and a sense of security to residents. Style to match existing colour to be black.

##### DESIGN OBJECTIVES

- Fencing to the rear of lots abutting the Golf Course will be provided by the developer.
- Fencing to the rear of lots adjoining Lake Mulwala to be revised by lot owner and be consistent as existing in terms of style and colour.
- Fencing to the rear of lots abutting Golf Links lakes is optional.

##### DESIGN CONTROLS

- Colorbond fencing colour is 'Grey Ridge' with 'Tea Tree' cappings and posts.
- No front fencing is allowed for, with the exception for designated integrated housing and medium density sites.

- Side fences are to be 1.8m high. Colorbond fences with capping provided by the lot owner.
- Side fences to the golf course and lake lots are to change height as per Figure 1.
- Side and wing fences are to start 1.0m behind the front facade. Wing fences are encouraged to be batten style.
- Rear fences to conventional lots shall be 1.8m high Colorbond except for rear boundary of a golf course and lake frontage lots.
- Purchasers wanting fencing to rear of lots abutting lakes is at the cost of the purchaser and must be a 1.2m steel picket as is used on the golf course. And constructed in accordance with Figure 1. Colour and style to match existing.
- Privacy fencing may be used on these lake lots to create private garden areas. They must be setback a minimum of 10m from the rear boundary. These fences are permitted for a maximum of 50-60% of the lot width and must be timber style batten fencing or brush fencing and may be max 1.8m in height.
- For corner allotments privacy fencing is permitted for a maximum of 50% of the secondary frontage boundary & car parking. This is to be setback 10m from the front boundary. Timber style and batten merbau fencing encouraged and preferred.

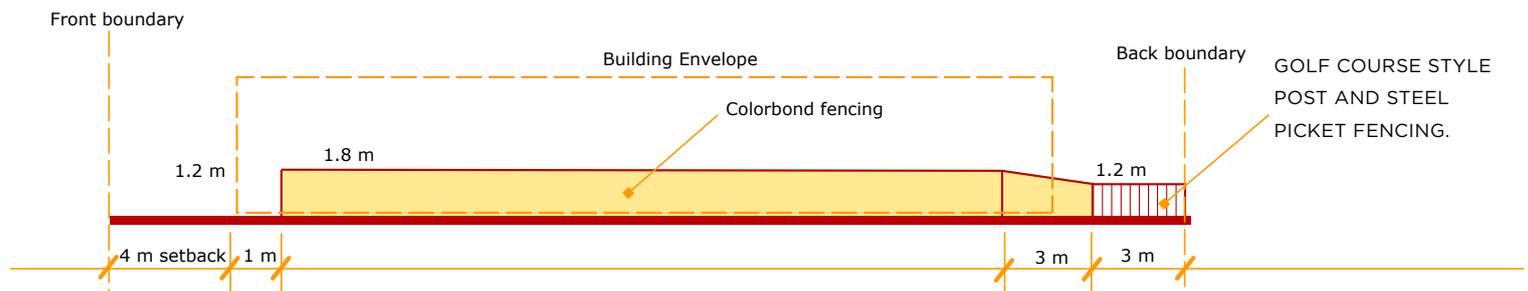


Figure 1 - Side fence elevation - Golf Course Lots

### 3.1 Site Design and Layout cont.

#### 3.1.4 Access and Car Parking

##### DESIGN OBJECTIVES

- Minimise pedestrian and vehicular conflicts.
- Garages and driveways should be integrated into the overall dwelling design.
- Ensure that garages and driveways do not dominate the landscape elements.

##### DESIGN CONTROLS

- A minimum of two car spaces are required for each lot.
- Single car garages are acceptable for lots under 12m wide.

- Internal driveway to match the width of crossover at property boundary subject to approval of DRC for any variation.
- Each dwelling is limited to a single vehicular crossover. Relocation of crossover requires the DRC approval and related costs must be paid by the property owner prior to work commencing. Relocation is not always possible due to the layout of streets and underground services.
- The design and finish of driveway must complement the overall design of the dwellings. Exposed aggregate is encouraged with coloured concrete the

minimum standard. Unfinished natural grey concrete is not permitted. Unit pavers in natural stone or brick units are also strongly encouraged.

- Where possible, clearly differentiate pedestrian access from vehicular driveways.
- Internal driveways must be completed within 90 days of obtaining a Certificate of Occupancy.







## 3.2 Building Siting cont.

### ALLOWABLE ENCROACHMENTS

Pergolas, verandahs, awnings and decks are permitted to encroach the front setback by no more than 1.0m, and rear setbacks except on setbacks that face onto lakes. For the side and rear encroachments the DRC will review the proximity of these elements to the built form on the adjacent lot, and advise on the maximum allowable encroachment in each case.

Eaves are an allowable encroachment to all setbacks.

### ZERO BOUNDARY SET BACKS

Dwellings will not be permitted to have zero set backs on both side boundaries, unless on designated medium density lots or Stage 11 as approved by Silverwoods DRC.

### 3.2.2 Garages

#### DESIGN CONTROLS

- Minimum 5.0m from the front boundary
- Garages must be set back behind the front facade of dwellings by minimum 0.5m. This is measured from the main front wall, not from encroaching verandah or porches.
- Carports are allowed however side enclosure walls to these must be of a semitransparent quality if a semi enclosed structure.
- Garage doors must be a panel lift door, or slim line sectional door variety. Roller doors are not permitted on the garage entry.
- Garages should be constructed of materials which conform to the predominant materials of the associated front facade.
- The width of garage must not exceed 7.0m.
- Triple garages are not permitted in the same alignment where visible from the streetscape or public open areas.

- Triple garage - allowing for a golf cart may be approved, subject to DRC and have third space set back min 1.0m from garage line.
- Detached Side Entry Garages are encouraged and must be set back min 4m from front boundary if you wish to turn the garage on its side and locate it in the front of the home. They must be constructed of materials and finishes consistent with that of the front facade/home and be well landscaped.

### 3.2.3 Site Coverage

#### DESIGN CONTROLS

- Lots up to 450m<sup>2</sup>, minimum coverage of 110sqm.
- Lots up to 600m<sup>2</sup>, minimum coverage of 140sqm.
- Lot sizes over 600m<sup>2</sup>, minimum coverage of 160sqm.
- Maximum site coverage as per ResCode.

### 3.2.4 Special Conditions

Sometimes it's difficult to meet setback and height requirements. At Silverwoods, some concessions may apply if the lot is irregular in shape. A minor variation to the setbacks may be approved provided the amenity of adjoining residences is not adversely affected. Any approval is at the absolute discretion of the DRC.

## 3.3 Design Quality

### 3.3.1 Architectural Style

#### DESIGN OBJECTIVES

- Encourage high quality architectural design and finishes.
- Support architectural design that is contemporary.
- Buildings should be designed in their context.
- Buildings should be designed as a whole and not in an ad-hoc manner.

#### DESIGN CONTROLS

- Building design should be prepared by a Registered Architect or a Registered Building Designer.
- Building design should reflect contemporary Australian style.
- No period style homes will be permitted.
- No mock country style rolled roofs or verandahs.

### 3.3.2 Facade Treatment

#### DESIGN OBJECTIVES

- Ensure that building elements such as pergolas, verandahs and further eave treatments are incorporated into the overall design.
- Facades should not be identical, or repetitive in its presentation.
- Ensure that facade treatments wrap around corners and address multiple frontages where applicable: golf course, lake, park lots and corners lots.
- Good articulation is required to promote high design standards and it is preferred that homes use a selection of materials that complement the house design and provide a unique theme for Silverwoods.
- Facades should be clad in suitable and quality materials to help keep the streetscape an interesting and vibrant environment.
- Garages should not dominate the streetscape.

### 3.3 Design Quality

#### DESIGN CONTROLS

- Identical or repetitive facades are not allowed for within 5 lots either side, including across the road.
- Articulation of highly visible upper storey walls in excess of 10m is encouraged via the use of floor plan articulation or material changes.

#### 3.3.3 Materials/Colours/Textures

##### DESIGN OBJECTIVES

- Buildings must incorporate different complementary materials to facade design to ensure a visually dynamic design and to enhance streetscape appeal.
- Minimise glare and reflection.
- Design should use an innovative palette that compliments the landscape character.

##### DESIGN CONTROLS

- All elevations visible to the public realm should be fully designed utilising a range of design and construction techniques to establish visual interest. This may include variations in materials and a mix of solid and glazed treatments.
- Facades will incorporate a variety of contemporary materials, such as Timber Slat cladding, Colorbond, Bricks, Glazing, Stacked Stone or similar.
- If using render you cannot render more than 85% of the non glazed wall area.
- Primary building colours should reflect a muted earthy tone that will blend with the landscape setting.
- Accent colours and materials are encouraged to be strategically used for architectural feature elements.
- Refer to the colour pallet images.

### 3.4 Building Form

#### 3.4.1 Building Height

##### DESIGN OBJECTIVES

- Incorporate architectural detailing to dwellings, particularly 2 storey dwellings to avoid excessive building mass or bulky facades.
- A 9m height limit above natural ground line is permitted at Silverwoods.
- If you require retaining walls on your site, these must not exceed 1m in height. Natural batters are preferred as they soften the landscape.
- If you need to cut into your site, or fill areas of your site to raise the floor level, the maximum cut or fill height is 1.0m or as agreed by DRC. You must retain the natural ground level for a minimum of 2m from the front and rear boundaries.

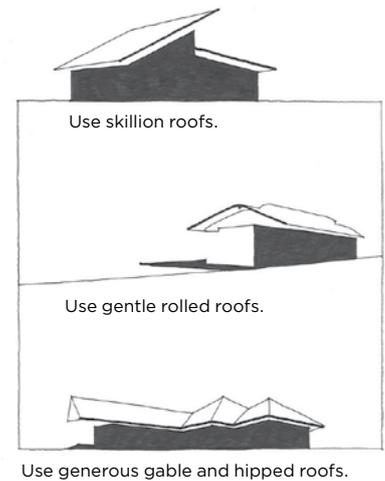
#### 3.4.2 Roof Form

##### DESIGN OBJECTIVES

- Buildings must include a roof design that is simple in style and is integrated with the total building design.

##### DESIGN CONTROLS

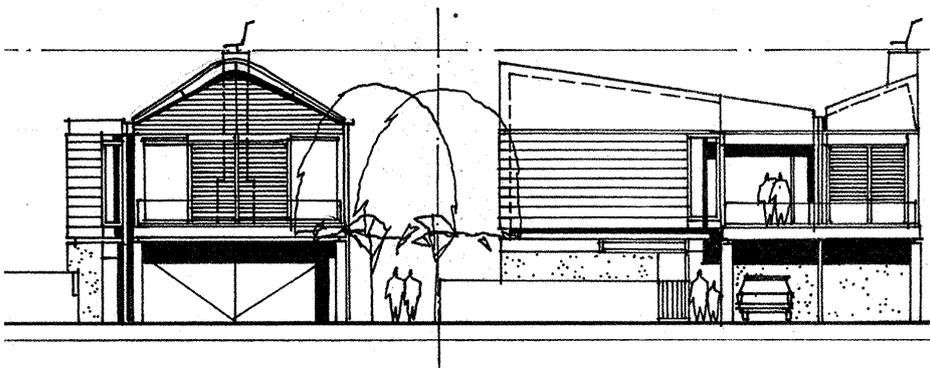
- Eaves are mandatory (except for walls on boundaries) to facilitate good environmental practice - minimum 450mm in depth. DRC will consider alternative solutions in line with approved roof forms. Promote a simple roof pitch between 17.5° - 30° except garages that are permitted to have a flat roof behind a parapet.
- Skillion and contemporary roof forms will be considered subject to design merit.
- External fixtures such as air conditioning units and service related equipment should not be visible from anywhere within the street frontage and be located under the applicable ridge line.



#### 3.4.3 Facade Treatment

##### DESIGN OBJECTIVES

- Ensure that building elements such as pergolas, verandahs and further eave treatments are incorporated into the overall design
- Facades should not be identical, or repetitive in its presentation.
- Ensure that facade treatments wrap around corners and address multiple frontages where applicable: golf course, lake, corner lots and parks lots.
- Good articulation is required to promote high design standards and it is preferred that homes use a selection of materials that complement the house design and provide a unique theme for Silverwoods.
- Facades should be clad in suitable and quality materials to help keep the streetscape an interesting and vibrant environment.
- Garages should not dominate the streetscape.

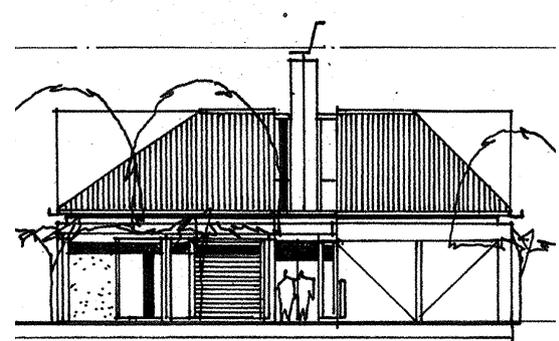


Corrugated iron water tanks visible from the streetscape allowable subject to DRC if part of the overall design feature.

Clipped eaves acceptable when shutters and pergolas are used for sun protection.

Max 85% render to solid non-glazed elements of facades.

Lightweight cladding encouraged to break up wall masses.



Pergolas and verandahs to be dominant features along the streetscape.



### DESIGN CONTROLS

- Identical or repetitive facades are not allowed for within 5 lots either side, including across the road.
- Articulation of highly visible upper storey walls in excess of 10m is encouraged via the use of floor plan articulation or material changes.

### 3.4.4 Materials/Colours/Textures

#### DESIGN OBJECTIVES

- Buildings must incorporate different complementary materials to facade design to ensure a visually dynamic design and to enhance streetscape appeal.
- Minimise glare and reflection.
- Design should use an innovative palette that complements the landscape character.

### DESIGN CONTROLS

- All elevations visible to the public realm should be fully designed utilising a range of design and construction techniques to establish visual interest. This may include variations in materials and a mix of solid and glazed treatments.
- Facades will incorporate a variety contemporary materials, such as Timber Slat cladding, Colorbond, Bricks, Glazing, Stacked Stone or similar.
- If using render you cannot render more than 85% of the non glazed wall area.
- Primary building colours should reflect a muted earthy tone that will blend with the landscape setting.
- Accent colours and materials are encouraged to be strategically used for architectural feature elements.
- Variations of materials to the facade will be considered by the DRC on its own merits.
- Refer to the colour pallet example images.

### 3.4.4 Special Conditions

Sometimes it's difficult to meet setback and height requirements. At Silverwoods, some concessions may apply if the lot is irregular in shape. A minor variation to the setbacks may be approved provided the amenity of adjoining residences is not adversely affected. Any approval is at the absolute discretion of the DRC.

### Dark Coloured Palette

The dark palette is selected from the natural greys, silvers and purples of the native plants and trees. Use of colour should be kept simple when applying to the facade. Similar colours in other manufacturers range maybe used.



Dulux "Columbia"

Dulux "Mudskipper"

Dulux "Brood"



Dulux "Meniscus"

Dulux "Old Ruin"

Dulux "Knave"



Dulux "Copra"

Dulux "Wimbledon"

Seahouse Grey Stain



Scrub Green Stain

Elephants Breath Stain

Jarrah Stain

### Light Coloured Palette

Commonly used as a basis palette, light colours should reflect the sandy soils of the lakes edge with greens taken from the foliage of native plants.



Dulux "Wheaten White"

Dulux "Mudpuddle"

Dulux "Eaves"



Dulux "Kings Canyon Grey"

Quantum "Sand" Stain

Quantum Thyme Stain



Quantum Clear Oil Based Stain



**Wall Finishes**

Natural materials are encouraged Silverwoods. Timbers and bricks, sustainable and durable materials of the traditional Australian rural landscape should dominate the streetscape. Where bricks and stone will be used follow the examples below when it comes to shade and colour.

**TIMBER PALETTE**



Plywood/Hardwood/Shiplapboards



Timber/ Weatherboards/  
Cedar/ Hardwood



**BRICK & RENDER PALETTE**



Render shall cover less than 85% of the solid non-glazed area of the facade. The bricks shown are to establish an example of colour tones that are in keeping with the vision of Silverwoods.



Boral Bricks "Elan Tanami"



Austral Split Face "Southern White"



Austral "Classic Clinker" or Bendigo Bricks Clinker



Boral concrete Split Face bricks

**STONE PALETTE**



Southern LedgeStone "Chardonnay"



Southern LedgeStone "White Oak"



Southern LedgeStone "Fog"

### 3.5 External Windows & Door Frames

As Silverwoods focuses on the use of natural materials. Windows and doors may predominantly be of stained timbers, however aluminium is suitable in the following palettes or similar to be in keeping with the colours of the landscape and natural environment.



Dulux Powdercoat  
"Barrister White"



Natural Anodised Aluminium



Dulux Assorted Powdercoat Colours

### 3.6 Roofing

Tile and metal roofing are acceptable for use at Silverwoods. Colorbond roofing tones should match the colours in section 3.4.3. Red roof tiles are not permitted.



Boral Charcoal Grey or Terracotta  
Equivalent



CSR Cambridge Welsh Black



Corrugated Iron



Zinc Roofing

### 3.7 Ancillary

#### DESIGN CONTROLS

- Air conditioning condensing units should be located below the fence line.
- Evaporative cooling units should be located below the roof line and colour match the roof finish.
- Solar hot water systems and solar electrical panels may be located in the best functional position, however if possible solar panels are to be located away from public view.
- Storage sheds or the like must be located in the building envelope of the rear yard. Size, location and colour to be approved by the DRC. Material may be Colorbond steel. Location may be considered outside the building envelope for conventional lots only.
- Boatsheds and enclosures may be built on the lot. They are subject to the guidelines and must be contained within the building envelope and setbacks.
- Granny flats and bedsitters on top of garages are acceptable and must be designed to compliment the main house.
- Water tanks are encouraged at Silverwoods. All house plans submitted to the DRC must show the proposed location of the rainwater tank and any proposed screening. Water tanks must be screened from public view and placed at the rear of the residence.
- Letter boxes must be of a robust and contemporary design to complement the overall building and landscape character. Must not be of a full metal one.
- Letter boxes must be installed within 30 days of a Certificate of Occupancy being obtained.
- No temporary letter boxes are acceptable.
- Limit to one (maximum 600mm x 900mm) promotion of houses for sale and advertising of builders during construction, unless prior approval is granted by the DRC.
- No other advertising signage is permitted on either vacant land or occupied allotment without the written permission of the developer and Owners Corporation.
- No handwritten / illuminated signage is allowed.
- Any form of signage must be removed once construction of the dwelling is completed.
- Clotheslines, bin receptacles and service meters should be sited unobtrusively and away from public view. Or screened from public view.
- Incinerators are not permitted to be used or constructed.
- To maintain an attractive overall streetscape, trucks, commercial vehicles, caravans, boats, trailers, or recreational vehicles are not permitted to be parked on lots unless they are consealed from public view or behind gates. It is encouraged that they are housed within a carport or garage. In addition, these vehicles are not permitted to be parked in the street other than for deliveries, etc.



### 3.8 Landscape Response

The planting of native or drought tolerant trees and shrubs will assist in creating a sustainable community at Silverwoods.

The expansion of this planting theme within individual lots will be strongly encouraged to establish a typical landscape character within the Silverwoods Masterplan. Plants nominated (refer to Plant Schedule) are drought hardy and require little maintenance or watering.

#### DESIGN OBJECTIVES

- Ensure that private gardens enhance the overall image of the development and complement the design of dwellings.
- Encourage rainwater harvesting and storage.
- Encourage the use of planting which are suitable to the landscape context.

- To ensure that ancillary features are designed to complement the design of houses, landscape and neighbourhood character in general.
- See Figures 5 & 6 for typical front and rear gardens.
- Nature Strips are to be provided and installed as per the relevant Landscape Plan as approved by Council. Options of grass, synthetic grass, granitic sand or tuscan rocks to be considered.



Figure 5 - Typical Front Garden, All Lot Types

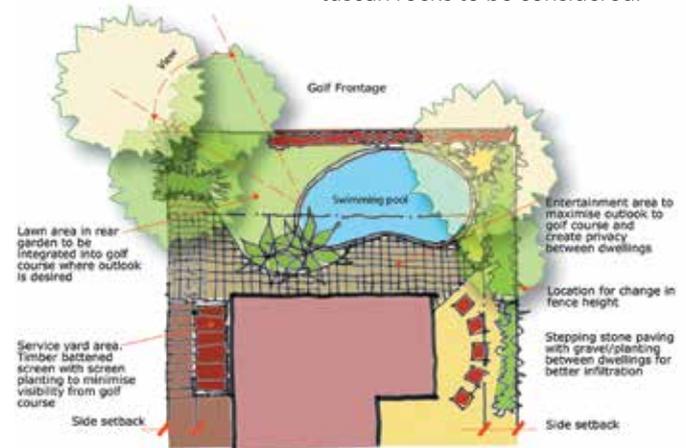


Figure 6 - Typical Rear Garden, Off Course Lot

#### 3.8.1 Hardscaping

##### DESIGN CONTROLS

- Any landscaping structure surface must be consistent and complementary to the facade design.
- Limit visible retaining walls to less than 1.0m tall and should be constructed from material which is complementary to the dwelling.
- Any exposed areas below the finished floor level should be screened by landscaping or appropriate material treatment.

#### 3.8.2 Soft Landscaping

##### DESIGN CONTROLS

- Landscaping elements could be used to soften, or screen the appearance of storage, services and parking areas.
- Vegetation choice must take into consideration drought tolerant planting and hardiness.
- Amount of grass in front garden needs to be limited to more than 30% of the soft landscape area.
- Landscaping features should maintain a degree of passive surveillance of entry points to dwellings.
- Landscape elements should not minimise potential negative impacts on adjacent properties through overshadowing or intrusive root systems.

- Landscaping of front gardens must be completed within 6 months of obtaining a Certificate of Occupancy.
- Recommended and Prohibited species are noted.
- 1 tree must be planted in the front garden.
- Planted strip required along driveway edge and side boundary.

#### 3.8.3 Maintenance

##### DESIGN CONTROLS

- Turf is to be regularly cut and maintained.
- Gardens and turf are to be kept free of pests, disease and weeds.
- Fences and retaining walls must be maintained.



## 3.8 Landscape Response

### 3.8.4 Recommended and Prohibited Planting Schedule for Silverwoods, Yarrowonga

The plant palette selected includes a number of species that are indigenous to the area and have been sourced from DNRE's "Revegetation in the Shepparton Irrigation Region" Landcare Notes and DSE's "EVC/ Bioregion Benchmark for Vegetation Quality Assessment - Victorian Riverina bioregion"- "Plains Grassy Woodland", EVC 803, EVC 55-61, and "Floodplain Riparian Woodland".

#### MEDIUM - LARGE SIZED TREES (10 - 15m spread at maturity)

BOTANICAL NAME	COMMON NAME
<i>Eucalyptus camaldulensis</i>	River Red Gum
<i>Eucalyptus leucoxylon</i>	Yellow Gum
<i>Eucalyptus largiflorens</i>	Black Box
<i>Eucalyptus melliodora</i>	Yellow Box
<i>Eucalyptus microcarpa</i>	Grey Box

#### SMALL-MEDIUM SIZED TREES (4 - 5m spread at maturity)

BOTANICAL NAME	COMMON NAME
<i>Acacia implexa</i>	Lightwood
<i>Allocasuarina luehmannii</i>	Buloke
<i>Pittosporum phillyreoides</i>	Weeping Pittosporum

#### MEDIUM SIZED STREET TREES (6 - 9m spread at maturity)

BOTANICAL NAME	COMMON NAME
<i>Eucalyptus leucoxylon</i> var. <i>rosea</i>	Red Flowering Yellow Gum
<i>Eucalyptus ficifolia</i>	Red Flowering Gum

#### SHRUB PLANTING MIX (Ground preparation in accordance with SIR guidelines on re-vegetation)

BOTANICAL NAME	COMMON NAME
<i>Acacia pycnantha</i>	Golden Wattle
<i>Acacia acinacea</i>	Gold Dust Wattle
<i>Acacia paradoxa</i>	Hedge Wattle
<i>Brachyscome muelleroides</i>	Mueller Daisy
<i>Bursaria spinosa</i>	Sweet Bursaria
<i>Callistemon seberi</i>	River Bottlebrush
<i>Cassinia arcuata</i>	Chinese Scrub
<i>Dillwynia cinerescens</i>	Grey Parrot-pea
<i>Eremophylla longifolia</i>	Emubush
<i>Eutaxia diffusa</i>	Spreading Eutaxia
<i>Pimelia humilis</i>	Common Rice Flower

#### PROHIBITED PLANTING SCHEDULE

BOTANICAL NAME	COMMON NAME
<i>Melia Azedarach</i>	White Cedar
<i>Acmena smithii</i>	Lilly-pilly
<i>Platanus orientalis</i>	Plane Tree
<i>Agapanthus</i> spp.	Agapanthus
<i>Pennisetum clandestinum</i>	Kikuyu Grass

#### GROUND COVERS, TUFTS & GRASSES

BOTANICAL NAME	COMMON NAME
<i>Amphibromus fluitans</i>	River Swamp Wallaby Grass
<i>Austrodanthonia caespitose</i>	Common Wallaby Grass
<i>Austrostipa</i> spp.	Spear Grass
<i>Calocophalus citreus</i>	Lemon Beauty-heads
<i>Crassula sieberiana</i>	Sieber Crassula
<i>Dianella rovoluta</i>	Black-anther Flax-lily
<i>Dichondra repens</i>	Kidney Weed
<i>Diuris tricolor</i>	Tricolor Diuris
<i>Einadia estate</i>	Saloop
<i>Einadia nutans</i> spp. <i>Nutans</i>	Nodding Saltbush

#### WETLAND PLANTING

BOTANICAL NAME	COMMON NAME
<i>Wahlenbergia fluminalis</i>	River Blue Bell
<i>Poa sieberiana</i>	Fine leaved Tussock Grass
<i>Persicaria prostrata</i>	Creeping Knotweed
<i>Ranunculus inundatus</i>	River Buttercup
<i>Centipeda cunninghamii</i>	Common Sneezeweed
<i>Brachyscome basaltica</i>	Swamp Daisy
<i>Agrostis avenaceae</i>	Blown Grass
<i>Carex tereticaulis</i>	Terete Culm-sedge
<i>Carex apressa</i>	Tall Sedge
<i>Rumex bidens</i>	Mud Dock
<i>Eleocharis acuta</i>	Common Spike-sedge
<i>Crassula helmsii</i>	Swamp Crassula
<i>Cyperus exaltatus</i>	Tall Flat-sedge
<i>Juncus ingens</i>	Giant Rush
<i>Nymphoides crenata</i>	Wavy Marshwort

IMPORTANT NOTE: Plants listed in the Prohibited Planting Schedule are STRICTLY PROHIBITED due to environmental impact.

# 4.0

## ACKNOWLEDGEMENT.

The Purchasers acknowledge that they have received a copy and read the Silverwoods Design Guidelines and agree to comply with all Design Objectives and Design Controls outlined in this document.

### **Non Compliance**

Any breach of the design guidelines is viewed very seriously by the Developer and a breach of the Owners Corporation rules. Upon the receipt of a letter from the Developer or the Owners Corporation advising a breach of the Design Guidelines, the Purchaser must immediately rectify the identified breach. Audits will be conducted on site to suitably monitor the construction activity and maintenance issues in the estate.



# 5.0

## SILVERWOODS DESIGN GUIDELINES APPLICATION FORM.

Complete and attach this cover sheet to your application to the Design Review Committee.

### Design Review Committee

Lotus Projects  
IBM Centre  
Level 10, 60 City Road  
SOUTHBANK, VIC 3006  
Email: drc@lotusliving.com.au

### Allotment Details

Lot Number \_\_\_\_\_  
Street \_\_\_\_\_

### Owner Details

Full Name \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Phone BH \_\_\_\_\_  
Mobile \_\_\_\_\_  
Email \_\_\_\_\_

### Builder Details

Name \_\_\_\_\_  
Company \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Phone (BH) \_\_\_\_\_  
Mobile \_\_\_\_\_  
Email \_\_\_\_\_

### Design Details

House Type \_\_\_\_\_  
Facade Type \_\_\_\_\_

### Other Details

These details are usually supplied by your builder or architect:

- 2 x A3 copies of full set of building plans including site plan, floor plan/s, roof plan and elevations
- 2 x copies of Materials and Colour Schedule for the dwelling

Please ensure that the following elements are indicated on building plans:

- The location, materials, height and colour of front, side and rear fences
- The materials and colour for the driveway
- The colour and type of garage door
- Details of any cut and fill proposed to create the building platform and driveway, final levels and any retaining walls proposed
- The locations of external fixtures including:
  - Solar water heater, hot water service and ducted heating unit
  - TV antenna
  - Air conditioner
  - Any proposed change to the location of the crossover

I / We certify that the information in the attached application is a true and accurate representation of the home I / We intend to construct. In the event that changes are made to the proposed plans, I / We undertake to resubmit this application for approval of such changes.

**Signed:** \_\_\_\_\_

Name in print: \_\_\_\_\_

Date: \_\_\_\_\_





